

Seller disclosure statement



Queensland
Government

Property Law Act 2023 section 99

Form 2, Version 1 | Effective from: 1 August 2025

WARNING TO BUYER – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

WARNING – You must be given this statement before you sign the contract for the sale of the property.

This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

Part 1 – Seller and property details

Seller	Michelle Areias Leite Toms, Ryan Toms
Property address (referred to as the “property” in this statement)	1/7 Tucker Court New Beith, Queensland, 4124
Lot on plan description	Lot 63, Plan SP286320, Title Reference 51106878

Community titles scheme
or BUGTA scheme:

Is the property part of a community titles scheme or a BUGTA scheme:

☐ **Yes**

*If **Yes**, refer to Part 6 of this statement
for additional information*

☒ **No**

*If **No**, please disregard Part 6 of this statement
as it does not need to be completed*

Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

Title details	The seller gives or has given the buyer the following—
	A title search for the property issued under the <i>Land Title Act 1994</i> showing interests registered under that Act for the property. <input checked="" type="checkbox"/> Yes
	A copy of the plan of survey registered for the property. <input checked="" type="checkbox"/> Yes

Registered encumbrances	<p>Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages.</p> <p>You should seek legal advice about your rights and obligations before signing the contract.</p>
Unregistered encumbrances (excluding statutory encumbrances)	<p>There are encumbrances not registered on the title that will continue <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No to affect the property after settlement.</p> <p>Note—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are NOT required to be disclosed.</p> <p>Unregistered lease (if applicable)</p> <p>If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows:</p> <p>» the start and end day of the term of the lease: <input type="text"/></p> <p>» the amount of rent and bond payable: <input type="text"/></p> <p>» whether the lease has an option to renew: <input type="text"/></p> <p>Other unregistered agreement in writing (if applicable)</p> <p>If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. <input type="checkbox"/> Yes</p> <p>Unregistered oral agreement (if applicable)</p> <p>If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows:</p> <div style="border: 1px solid black; height: 100px; width: 100%;"></div>
Statutory encumbrances	<p>There are statutory encumbrances that affect the property. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>If Yes, the details of any statutory encumbrances are as follows:</i></p> <div style="border: 1px solid black; padding: 5px;"> <p>All statutory rights relating to water supply, sewerage, drainage, electricity, telephone and other services in passing through or over the property whether or not protected by registered easement.</p> </div>
Residential tenancy or rooming accommodation agreement	<p>The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, when was the rent for the premises or each of the residents' rooms last increased? (<i>Insert date of the most recent rent increase for the premises or rooms</i>) <input type="text"/></p> <p>Note—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises.</p> <p>As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.</p>

Part 3 – Land use, planning and environment

WARNING TO BUYER – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

Zoning	<p>The zoning of the property is (<i>Insert zoning under the planning scheme, the Economic Development Act 2012; the Integrated Resort Development Act 1987; the Mixed Use Development Act 199; the State Development and Public Works Organisation Act 1971 or the Sanctuary Cove Resort Act 1985, as applicable</i>):</p> <div style="border: 1px solid black; padding: 5px; width: fit-content;">Rural Residential</div>		
Transport proposals and resumptions	<p>The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the dimensions of the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>The lot is affected by a notice of intention to resume the property or any part of the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If Yes, a copy of the notice, order, proposal or correspondence must be given by the seller.</i></p>		
Contamination and environmental protection	<p>The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act 1994</i>. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>The following notices are, or have been, given:</p> <p>A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		
Trees	<p>There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If Yes, a copy of the order or application must be given by the seller.</i></p>		
Heritage	<p>The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth). <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		
Flooding	<p>Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the FloodCheck Queensland portal or the Australian Flood Risk Information portal.</p>		
Vegetation, habitats and protected plants	<p>Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.</p>		

Part 4 – Buildings and structures

WARNING TO BUYER – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

Swimming pool	There is a relevant pool for the property.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	Pool compliance certificate is given.	<input type="checkbox"/> Yes	<input type="checkbox"/> No
	OR		
	Notice of no pool safety certificate is given.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Unlicensed building work under owner builder permit	Building work was carried out on the property under an owner builder permit in the last 6 years.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	<i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i>		
Notices and orders	There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i> , section 246AG, 247 or 248 or under the <i>Planning Act 2016</i> , section 167 or 168.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the property.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	<i>If Yes, a copy of the notice or order must be given by the seller.</i>		
Building Energy Efficiency Certificate	If the property is a commercial office building of more than 1,000m ² , a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.		
Asbestos	The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (asbestos.qld.gov.au) including common locations of asbestos and other practical guidance for homeowners.		

Part 5 – Rates and services

WARNING TO BUYER – The amount of charges imposed on you may be different to the amount imposed on the seller.

Rates	Whichever of the following applies—
	The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is:
	Amount: <input type="text" value="\$ 923.14"/> Date Range: <input type="text" value="1 July- 30 September"/>
	OR
	The property is currently a rates exempt lot.** <input type="checkbox"/>
	OR
	The property is not rates exempt but no separate assessment of rates <input type="checkbox"/> is issued by a local government for the property.

*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

** An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

Water	Whichever of the following applies—
	The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is:
	Amount: <input type="text" value="\$ 293.30"/> Date Range: <input type="text" value="1 July to 30 September"/>
	OR
	There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is:
	Amount: <input type="text"/> Date Range: <input type="text"/>

* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

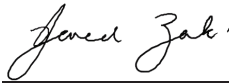
WARNING TO BUYER – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate's expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.

For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.

Body Corporate and Community Management Act 1997	<p>The property is included in a community titles scheme. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>(If Yes, complete the information below)</i></p>
Community Management Statement	<p>A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. <input type="checkbox"/> Yes</p> <p>Note—If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.</p>
Body Corporate Certificate	<p>A copy of a body corporate certificate for the lot under the <i>Body Corporate and Community Management Act 1997</i>, section 205(4) is given to the buyer. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>If No</i>— An explanatory statement is given to the buyer that states: <input type="checkbox"/> Yes</p> <ul style="list-style-type: none"> » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.
Statutory Warranties	<p>Statutory Warranties—If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.</p>

Building Units and Group Titles Act 1980	<p>The property is included in a BUGTA scheme <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>(If Yes, complete the information below)</i></p>
Body Corporate Certificate	<p>A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i>, section 40AA(1) is given to the buyer. <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>If No</i>— An explanatory statement is given to the buyer that states: <input type="checkbox"/> Yes</p> <ul style="list-style-type: none"> » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot. <p>Note—If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.</p>

Signatures – SELLER



as solicitor
on behalf of the seller

Signature of seller

Signature of seller

Michelle Areias Leite Toms

Name of seller

Ryan Toms

Name of seller

30/7/2025

Date

30/7/2025

Date

Signatures – BUYER

By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.

Signature of buyer

Signature of buyer

Name of buyer

Name of buyer

Date

Date

CURRENT TITLE SEARCH
QUEENSLAND TITLES REGISTRY PTY LTD

Request No: 52781544
Search Date: 30/07/2025 10:20

Title Reference: 51106878
Date Created: 09/08/2017

Previous Title: 51020450

REGISTERED OWNER

Dealing No: 718305312 03/10/2017

RYAN TOMS
MICHELLE AREIAS LEITE TOMS JOINT TENANTS

ESTATE AND LAND

Estate in Fee Simple

LOT 63 SURVEY PLAN 286320
Local Government: LOGAN

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 10777194 (POR 22)
2. MORTGAGE No 718305313 03/10/2017 at 09:42
COMMONWEALTH BANK OF AUSTRALIA A.B.N. 48 123 123 124

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
709748783	VEG NOTICE	06/07/2006 09:11	CURRENT
VEGETATION MANAGEMENT ACT 1999			

UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

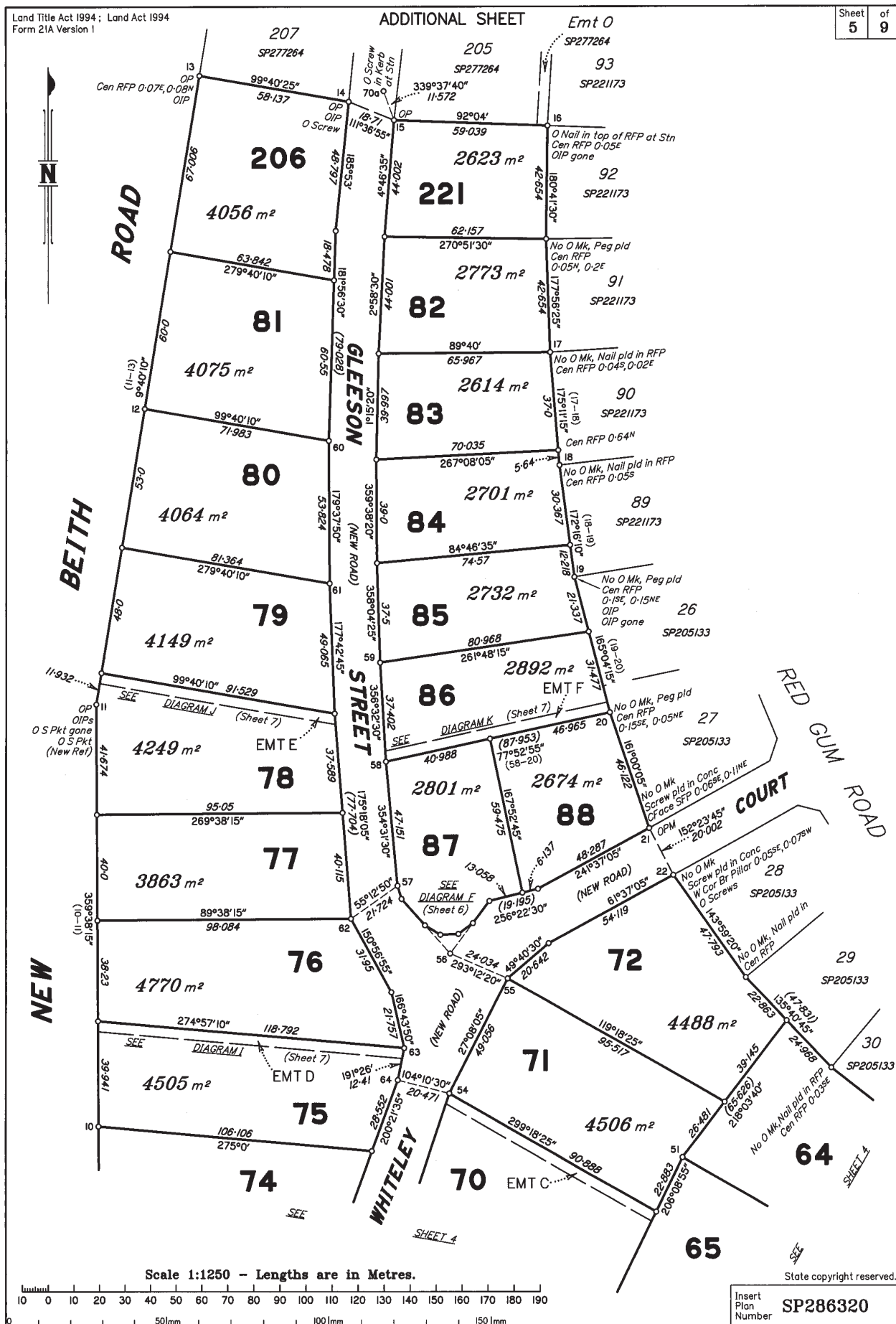
COPYRIGHT QUEENSLAND TITLES REGISTRY PTY LTD [2025]
Requested By: D-ENQ INFOTRACK PTY LIMITED

QLD_-Plan-Image-SP286320.pdf

Land Title Act 1994; Land Act 1994 Form 21B Version 1		WARNING : Folded or Mutilated Plans will not be accepted. Plans may be rolled. Information may not be placed in the outer margins.																											
<h1 style="margin: 0;">718165604</h1> <p style="margin: 0;">\$5462.00 20/07/2017 15:17</p> <h2 style="margin: 0;">BE 400 NT</h2>		5. Lodged by <div style="text-align: right; margin-right: 50px;"> <i>ARTHUR</i> 103A - <i>4.37905727</i> </div> <div style="font-size: small;">(Include address, phone number, reference, and Lodger Code)</div>																											
i. Certificate of Registered Owners or Lessees. I/We TEVIOT DOWNS ESTATE PTY LTD A.C.N. 091 379 207 (Names in full) * as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994. * as Lessees of this land agree to this plan. <div style="text-align: right; margin-right: 50px;"> <i>AK Reinhardt</i> Signature of *Registered Owners *Lessees <i>Ann-Jonette Reinhardt as attorney for</i> <i>Teviot Downs Estate Pty Ltd ACN 091 379 207</i> <i>under Power of Attorney No 717203997 who</i> <i>declares that she has not received any notice</i> <i>of revocation of the power of attorney</i> </div> <div style="font-size: small;">* Rule out whichever is inapplicable</div>		6. Existing Created <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Title Reference</th> <th>Description</th> <th>New Lots</th> <th>Road</th> <th>Secondary Interests</th> </tr> </thead> <tbody> <tr> <td>51020450</td> <td>Lot 9978 on SP277264</td> <td>1, 45-88, 206, 221 & 900</td> <td>New Rd</td> <td>Emts A-F Covs G-T</td> </tr> </tbody> </table> <div style="text-align: center; margin-top: 10px;">EXISTING ADMINISTRATIVE ADVISE ALLOCATIONS</div> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Administrative Advice</th> <th>Lots to be Encumbered</th> </tr> </thead> <tbody> <tr> <td>709748783 (VEG NOTICE)</td> <td>1, 45-88, 206, 221 & 900</td> </tr> <tr> <td>713923333 (DSI/OFFSET)</td> <td>1, 45-88, 206, 221 & 900</td> </tr> </tbody> </table> <div style="text-align: center; margin-top: 10px;">MORTGAGE ALLOCATIONS</div> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Mortgage</th> <th>Lots Fully Encumbered</th> <th>Lots Partially Encumbered</th> </tr> </thead> <tbody> <tr> <td>708316337</td> <td>1, 45-88, 206, 221 & 900</td> <td></td> </tr> </tbody> </table> <div style="text-align: center; margin-top: 10px;">ENCUMBRANCE EASEMENT ALLOCATIONS</div> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Easement</th> <th>Lots to be Encumbered</th> </tr> </thead> <tbody> <tr> <td>712121782 (Emt Y on SP205133)</td> <td>57</td> </tr> </tbody> </table>		Title Reference	Description	New Lots	Road	Secondary Interests	51020450	Lot 9978 on SP277264	1, 45-88, 206, 221 & 900	New Rd	Emts A-F Covs G-T	Administrative Advice	Lots to be Encumbered	709748783 (VEG NOTICE)	1, 45-88, 206, 221 & 900	713923333 (DSI/OFFSET)	1, 45-88, 206, 221 & 900	Mortgage	Lots Fully Encumbered	Lots Partially Encumbered	708316337	1, 45-88, 206, 221 & 900		Easement	Lots to be Encumbered	712121782 (Emt Y on SP205133)	57
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2. Planning Body Approval. Logan City Council * hereby approves this plan in accordance with the: % <div style="text-align: center; margin-top: 20px;"> Planning Act 2016 </div> <div style="margin-top: 20px;"> Dated this <u>SEVENTEENTH</u> day of <u>JULY</u> 2017 <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> <i>NICHOLAS FERRERO</i> # </div> <div style="text-align: center;"> Delegated Officer under Delegated Authority Minute No: <u>3/2015</u> </div> </div> <div style="font-size: x-small; margin-top: 5px;"> * Insert the name of the Planning Body. % Insert applicable approving legislation. # Insert designation of signatory or delegation </div> </div>		<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> 1, 45-88, 206, 221 & 900 Lots Orig </div> <div style="width: 45%; text-align: center;"> Por 22 </div> </div> <div style="margin-top: 10px;"> 7. Orig Grant Allocation : 8. Passed & Endorsed : By: SAUNDERS HAVILL GROUP PTY LTD Date: <u>24.05.19</u> Signed: <i>as</i> Designation: <u>Liaison Officer</u> </div> <div style="margin-top: 10px; border: 1px solid black; padding: 5px;"> 9. Building Format Plans only. I certify that: * As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads. * Part of the building shown on this plan encroaches onto adjoining * lots and road Cadastrol Surveyor/Director * Date * delete words not required </div> <div style="margin-top: 10px;"> 10. Lodgement Fees : Survey Deposit \$ Lodgement \$ New Titles \$ Photocopy \$ Postage \$ TOTAL \$ </div> <div style="margin-top: 10px; display: flex; justify-content: space-between;"> <div style="width: 40%; font-size: x-small;"> 11. Insert Plan Number </div> <div style="width: 50%; text-align: center;"> SP286320 </div> </div>																											
3. Plans with Community Management Statement : CMS Number : Name :		4. References : Dept File : Local Govt : <u>1007166-1</u> Surveyor : <u>5952</u>																											







Land Title Act 1994; Land Act 1994
Form 21A Version 1

ADDITIONAL SHEET

Sheet 6 of 9

DIAGRAM B

1:500

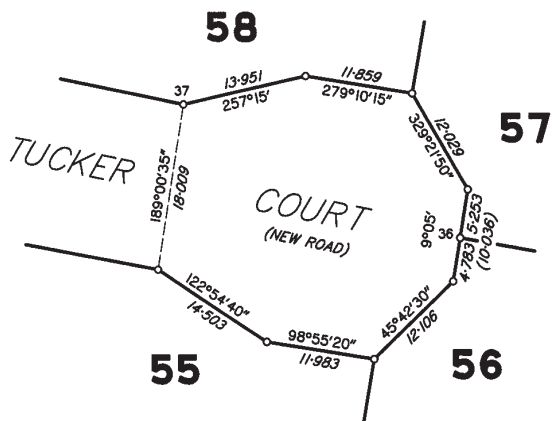


DIAGRAM C

1:500

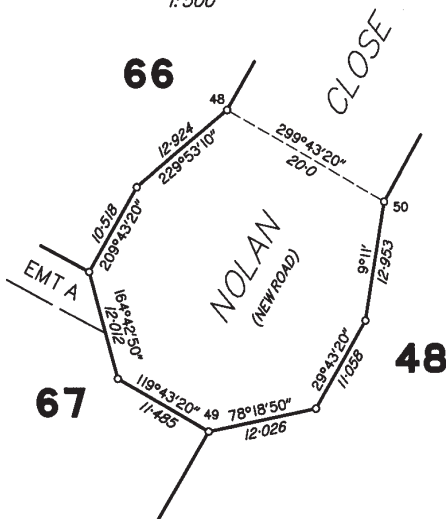


DIAGRAM D

1:500

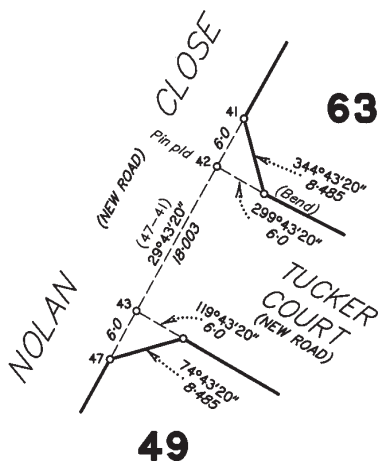


DIAGRAM E

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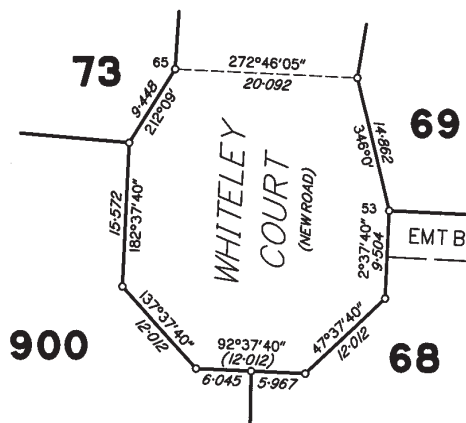
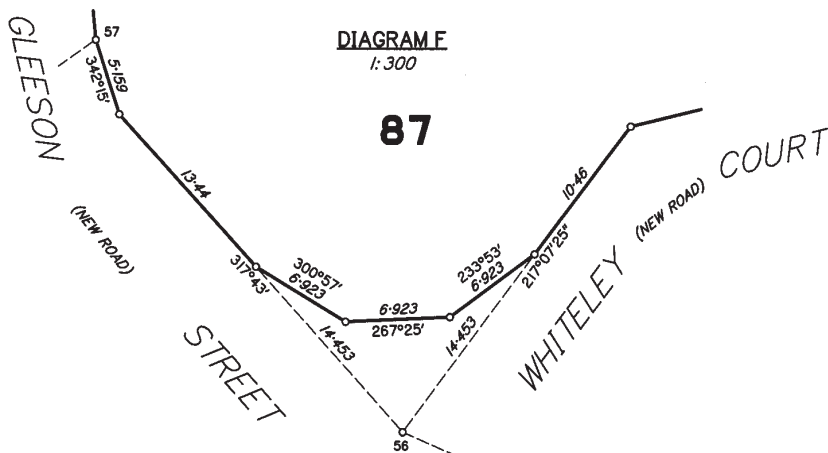


DIAGRAM F

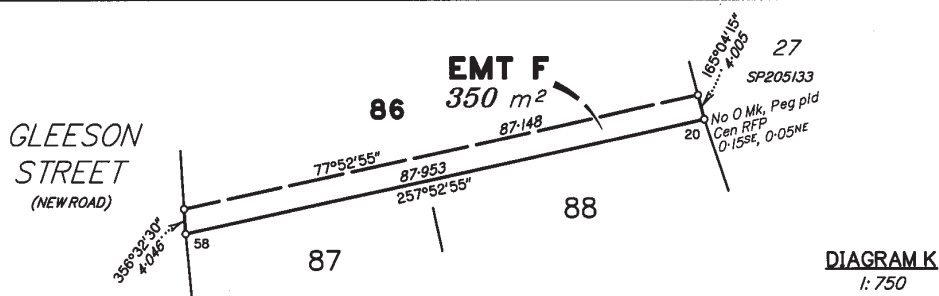
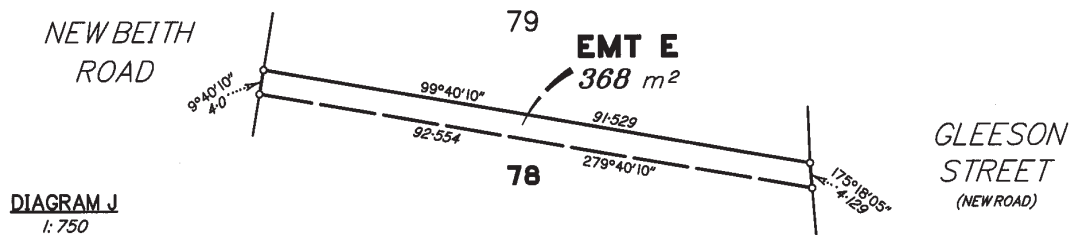
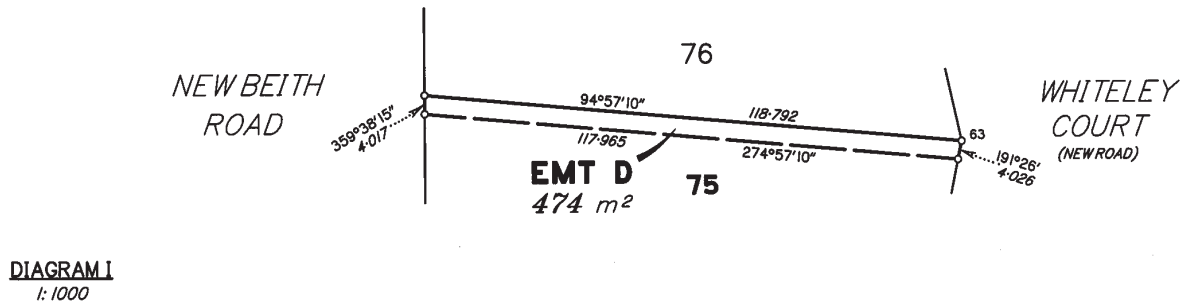
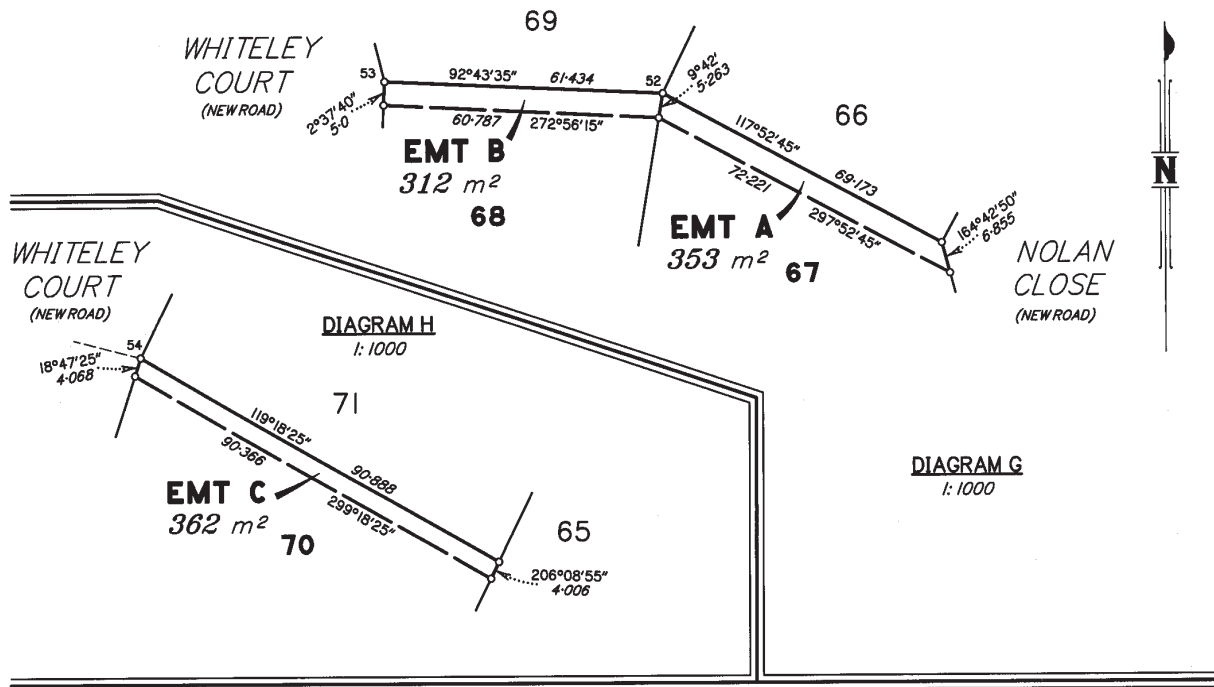
1:300



State copyright reserved.

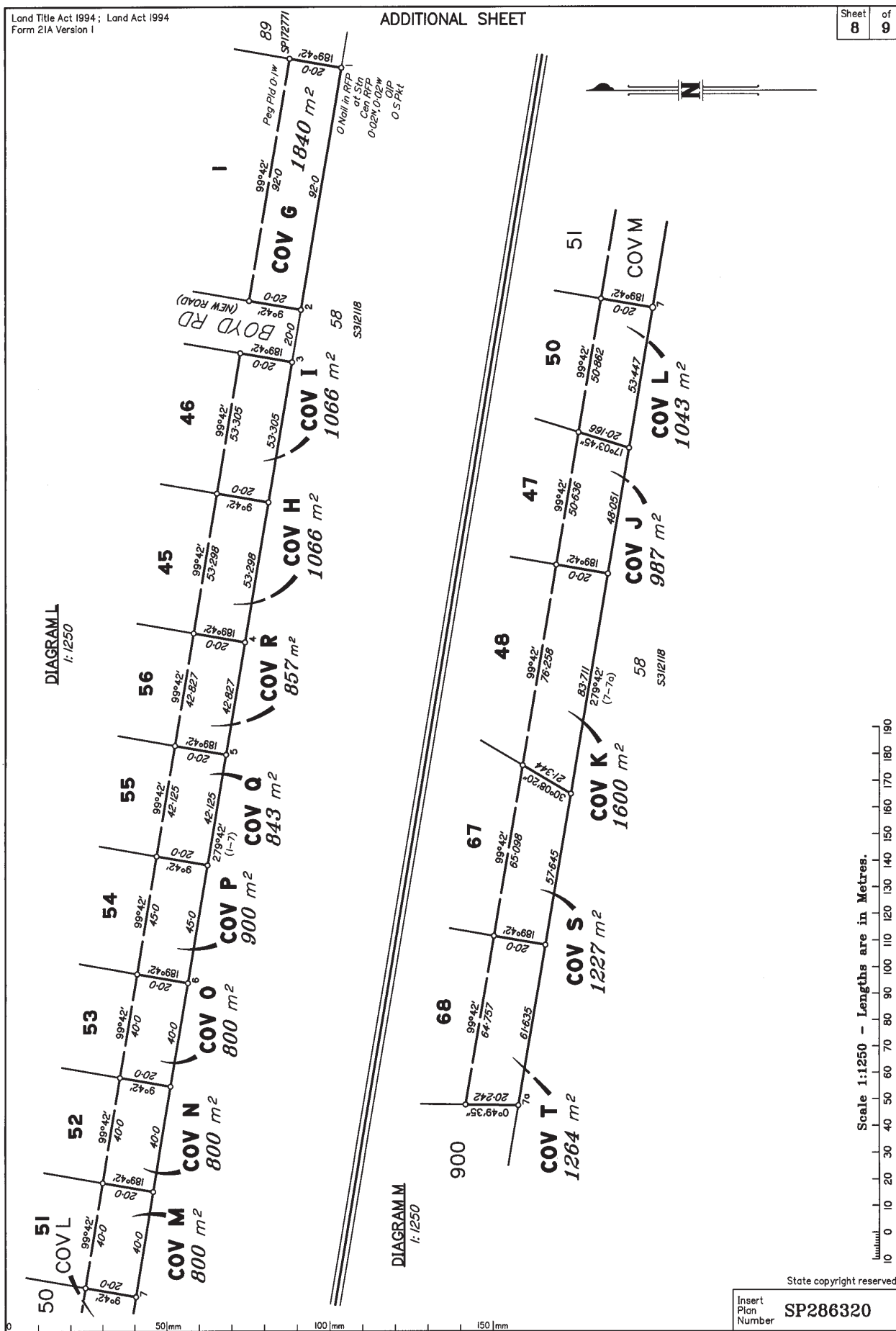
Insert Plan Number SP286320

0 50mm 100mm 150mm



State copyright reserved.

Insert
Plan
Number
SP286320



M.G.A. COORDINATES (GDA-94)

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM 61324	491 712-182	6 931 003-526	56	0-009	Datum		SCDB
PM 105470	494 835-333	6 931 299-467	56	0-01	Datum		SCDB
34a	495 064-832	6 929 323-028	56	0-015	Derived	Quick Static	O Screw in Kb
70a	494 401-573	6 929 957-301	56	0-015	Derived	Quick Static	O Screw in Kb

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
8-OPM (not searched)	IS266929	219°31'20"	52.99	130280	
21-OPM	IS234577	62°05'45"	66.755	167456	
35-OPM	SP205133	102°24'50"	92.169	154009	

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OIP	SP172771	33°13'05"	2.496
1	O S Pkt	IS234577	291°04'	5.279
2	Screw in Kerb		354°05'20"	21.54
5	Pin		194°57'	1.116
6	Pin		193°40'	2.141
7	Pin		208°08'30"	1.966
8	O Screw in M/H	IS266929	320°14'	1.953
8	O S Pkt gone	IS234577	57°22'40"	17.858
8	O S Pkt (not searched)	IS266929	332°06'45"	54.588
9	OIP	IS234577	271°43'40"	29.79
9	O S Pkt (not searched)	IS107554	211°06'	70.088
11	OIP	IS107554	186°31'55"	1.52
11	OIP	IS256417	254°36'	2.308
11	O S Pkt gone	IS234577	117°07'20"	41.083
11	O S Pkt (New Ref)	IS107554	204°45'30"	70.514
12	Pin		201°31'	11.29
13	OIP	SP277264	233°21'	3.992
14	OIP	SP277264	57°45'	3.36
14	O Screw in Kerb	SP277264	54°53'	7.366
16	OIP gone	SP221173	353°40'10"	3.058
19	OIP	SP221173	349°40'10"	1.003
19	OIP gone	SP205133	26°48'30"	40.837
21	Screw in Kerb		152°33'	6.25
22	O Screw in Kerb	IS234577	8°06'	7.86
22	O Screw in Kerb	IS234577	35°02'	14.173
24	O Screw in Kerb	SP205133	332°37'	7.574
29	Pin		144°51'	5.486
30	O Nail in Field Inlet	SP205133	271°43'40"	5.76
32	OIP	IS266929	275°08'	3.78
32	OIP	SP205133	189°42'	20.0
34a	O Screw in Kerb (New Conn)	SP205133	at Station	
36	Screw in Kerb		252°48'30"	6.644
37	Pin		183°53'	1.1
38	Screw in Kerb		196°03'	5.343
39	Screw in Kerb		201°11'	5.224
42	Pin		at Station	
42	Screw in Kerb		268°38'	3.19
43	Screw in Kerb		320°23'	3.423
43	Screw in Kerb		331°55'15"	16.046
45	Screw in Kerb		24°57'	5.838
46	Screw in Kerb		359°11'	5.842
48	Pin		122°19'	1.008
49	Screw in Kerb		27°19'30"	7.072
53	Screw in Kerb		268°15'	5.726
54	Screw in Kerb		3°22'	24.026
56	Screw in Kerb		202°47'	11.098
57	Screw in Kerb		259°15'	6.07
59	Screw in Kerb		266°33'	5.534
60	S Pkt		336°50'30"	15.849
61	Screw in Kerb		89°01'	5.717
62	Screw in Kerb		72°55'	6.737
63	Screw in Kerb		23°09'	18.2
65	Screw in Kerb		103°53'	6.364
66	OIP gone	SP205133	123°22'15"	20.037
67	O Screw in Kerb	SP205133	267°44'10"	17.373
68	O Screw in Kerb	SP205133	114°56'05"	5.98
70a	O Screw in Kerb	SP277264	at Station	

Reinstatement Report

- Stations 1, 8, 9, 11, 13-16, 19, 21-24, 30, 32, 34, 35, 67 & 68 are fixed from original reference/corner marks.
- Line Stations 16-24 are fixed by maintaining IS234577.
- Line Stations 24-30 are fixed by maintaining SP205133 with azimuth swing (-30").
- Station 31 is fixed by maintaining SP205133 with azimuth swing (-5") between Stations 30 & 32.
- Station 33 is fixed by maintaining IS266929 with respect to Stations 32, 34 & 68.
- Station 66 is fixed by maintaining the connection across Red Gum Road from Station 67 as per SP205133.

State copyright reserved.

Insert
Plan
Number
SP286320

0 50mm 100mm 150mm

Dealing No: 709748783
AA Type: VEGETATION MANAGEMENT NOTICE
Status: CURRENT

Legislation: VEGETATION MANAGEMENT ACT 1999

Lodgement No: 2128309 Lodgement Receipt: IH-0-0
Lodgement Date: 06/07/2006 09:11 Fee Paid: 0.00

Current Titles for this Dealing

50590787	50590812	50635945	50635955	50681856
50590788	50590815	50635946	50635956	50681857
50590790	50590823	50635947	50635957	50681858
50590791	50590825	50635948	50635958	50681859
50590792	50590826	50635949	50635959	50681860
50590793	50590827	50635950	50681851	50681861
50590794	50590829	50635951	50681852	50681862
50590797	50635942	50635952	50681853	50681863
50590800	50635943	50635953	50681854	50681864
50590801	50635944	50635954	50681855	50681865
50681866	50681876	50681892	50681905	50681915
50681867	50681883	50681893	50681906	50706229
50681868	50681884	50681894	50681907	50706230
50681869	50681885	50681895	50681908	50706231
50681870	50681886	50681896	50681909	50706232
50681871	50681887	50681897	50681910	50706233
50681872	50681888	50681898	50681911	50706234
50681873	50681889	50681899	50681912	50706235
50681874	50681890	50681900	50681913	50706236
50681875	50681891	50681901	50681914	50706237
50706238	50752946	50752956	50752966	50752976
50706239	50752947	50752957	50752967	50752977
50706240	50752948	50752958	50752968	50752978
50706241	50752949	50752959	50752969	50752979
50706242	50752950	50752960	50752970	50752980
50706243	50752951	50752961	50752971	50752981
50706244	50752952	50752962	50752972	50752982
50706245	50752953	50752963	50752973	50752983
50706246	50752954	50752964	50752974	50752984
50752945	50752955	50752965	50752975	50752985

Current Titles for this Dealing (continued)

50752986	50795385	50795395	50795405	50795415
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50752987	50795386	50795396	50795406	50795416
50795377	50795387	50795397	50795407	50795417
50795378	50795388	50795398	50795408	50795418
50795379	50795389	50795399	50795409	50795419
50795380	50795390	50795400	50795410	50795420
50795381	50795391	50795401	50795411	50795421
50795382	50795392	50795402	50795412	50795422
50795383	50795393	50795403	50795413	50795423
50795384	50795394	50795404	50795414	50795424
50795425	50824686	50824696	50824706	50824716
50795426	50824687	50824697	50824707	50824717
50795427	50824688	50824698	50824708	50824718
50795428	50824689	50824699	50824709	50824719
50824680	50824690	50824700	50824710	50824720
50824681	50824691	50824701	50824711	50824721
50824682	50824692	50824702	50824712	50824722
50824683	50824693	50824703	50824713	50824723
50824684	50824694	50824704	50824714	50824724
50824685	50824695	50824705	50824715	50824725
50824726	50854794	50854804	50854814	50854824
50824727	50854795	50854805	50854815	50854825
50824728	50854796	50854806	50854816	50854826
50824729	50854797	50854807	50854817	50854827
50854788	50854798	50854808	50854818	50854828
50854789	50854799	50854809	50854819	50854829
50854790	50854800	50854810	50854820	50854830
50854791	50854801	50854811	50854821	50854831
50854792	50854802	50854812	50854822	50854832
50854793	50854803	50854813	50854823	50854833
50854834	50854844	50949254	50949264	50949274
50854835	50854845	50949255	50949265	50949275
50854836	50854846	50949256	50949266	50949276
50854837	50854847	50949257	50949267	50949277
50854838	50854848	50949258	50949268	50949278
50854839	50854849	50949259	50949269	50949279
50854840	50854850	50949260	50949270	50949280
50854841	50949251	50949261	50949271	50949281
50854842	50949252	50949262	50949272	50949282
50854843	50949253	50949263	50949273	50949283

Current Titles for this Dealing (continued)

50949284	50990811	50990821	50990831	50990841
50949285	50990812	50990822	50990832	50990842
50949286	50990813	50990823	50990833	50990843
50990804	50990814	50990824	50990834	50990844
50990805	50990815	50990825	50990835	50990845
50990806	50990816	50990826	50990836	50990846
50990807	50990817	50990827	50990837	50990847
50990808	50990818	50990828	50990838	50990848
50990809	50990819	50990829	50990839	50990849

50990810	50990820	50990830	50990840	50990850
50990851	51020412	51020422	51020432	51020442
50990852	51020413	51020423	51020433	51020443
50990853	51020414	51020424	51020434	51020444
50990854	51020415	51020425	51020435	51020445
50990855	51020416	51020426	51020436	51020446
51020407	51020417	51020427	51020437	51020447
51020408	51020418	51020428	51020438	51020448
51020409	51020419	51020429	51020439	51020449
51020410	51020420	51020430	51020440	51106859
51020411	51020421	51020431	51020441	51106860
51106861	51106871	51106881	51106891	51106901
51106862	51106872	51106882	51106892	51106902
51106863	51106873	51106883	51106893	51106903
51106864	51106874	51106884	51106894	51106904
51106865	51106875	51106885	51106895	51106905
51106866	51106876	51106886	51106896	51106906
51106867	51106877	51106887	51106897	51112085
51106868	51106878	51106888	51106898	51112086
51106869	51106879	51106889	51106899	51112087
51106870	51106880	51106890	51106900	51112088

51112089

Non Current Titles for this Dealing

11737206	50590821	50681903
47041893	50590822	50681904
50553300	50590830	50681916
50590781	50681877	50681917
50590782	50681878	50752988
50590795	50681879	50795429
50590796	50681880	50824730
50590808	50681881	50949287
50590809	50681882	50990856
50590810	50681902	51020450

** End of Administrative Advice Search Statement **

FORM 36 - NOTICE OF NO POOL SAFETY CERTIFICATE

EFFECTIVE OCTOBER 2022

Important information

1. Pool owners, including bodies corporate, are responsible for ensuring the barrier complies with the pool safety standard at all times, even after giving or receiving this Form 36.
2. Pool owners may be committing an offence by failing to comply with their pool safety obligations and penalties of up to 165 penalty units may be applied.
3. The owner must complete this form if a pool safety certificate is not in effect when:
 - selling a premises with a regulated pool; or
 - entering into an accommodation agreement (e.g. written, oral or implied agreement for provision of accommodation) for premises associated with a shared pool.
4. It is recommended the seller maintain a record of giving this form to the required parties.

For the seller:

When selling without a pool safety certificate, you need to fill out this Form 36. A Form 36 is completed as part of the contract of sale.

Before settlement you must give a copy to:

- the buyer; and
- the QBCC; and
- body corporate (if you are selling a home, unit or townhouse, where there is a shared pool).

For the buyer:

If you buy a property without a pool safety certificate you must get one within 90 days of settlement. The seller must have given you a Form 36 – notice of no pool safety certificate, before entering into a contract of sale.

For the lessor - non shared (private) pool:

You must get a pool safety certificate before a lease is signed for a house or townhouse with its own non-shared pool.

For the body corporate - shared pool:

The body corporate must also ensure a pool safety certificate is in effect within 90 days of settlement OR the date an accommodation agreement is entered into. A pool safety certificate must be displayed at the main entrance to the premises or at any gate or door giving access to the pool.

GOVERNING LEGISLATION

Applicable under Sections 246ATF and 246ATI of the *Building Act 1975*.

PRIVACY NOTICE

The Queensland Building and Construction Commission is collecting personal information as required under the *Building Act 1975*.

This information may be stored by the QBCC and will be used for administration, compliance, statistical research and evaluation of pool safety laws. Your personal information will be disclosed to other government agencies, local government authorities and third parties for purposes relating to administering and monitoring compliance with the *Building Act 1975*.

Personal information will otherwise only be disclosed to third parties with your consent or unless authorised or required by law.

RIGHT TO INFORMATION (RTI)

The information collected on this form will be retained as required by the *Public Records Act 2002* and other relevant Acts and regulations, and is subject to the Right to Information regime established by the *Right to Information Act 2009*.

COMPLETING THIS FORM

- Use BLACK pen only
- Print clearly in BLOCK LETTERS
- DO NOT use correction fluid – cross out and initial amendments

RETURN YOUR COMPLETED FORM BY

Post: GPO Box 5099 Brisbane QLD 4001.

In person: QBCC service centres are listed on our website qbcc.qld.gov.au.

Email: poolsafety@qbcc.qld.gov.au

1. DETAILS OF PROPERTY OWNER

[illegible]

2. LOCATION OF THE SWIMMING POOL

Street address

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State

Q

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Postcode

4

1

2

4

Lot/s on plan

63/SP286320

Local Government Area

Logan City Council

3. SHARED OR NON-SHARED POOL

☐ Shared pool ☒ Non-shared pool

OFFICE USE ONLY	CRN:		Licence no:		Container:	
	Receipt no:		Receipt amount:	\$		
	Assignee:		Received by:			

4. DETAILS OF PROPERTY PURCHASER

Title ☐ Mr ☐ Mrs ☐ Miss ☐ Ms Other

Surname

First Name

Postal Address

State Postcode

Mobile Home Phone

Email

5. PROPOSED DATE OF SETTLEMENT OR ACCOMMODATION AGREEMENT

☐ Sale ☐ Lease

Date can be amended and initialed by the owner if the settlement or accommodation agreement date changes after this form is completed.

Date / /

6. PROPERTY OWNER'S DECLARATION

I declare that the information provided in this form is true and correct to the best of my knowledge; there is no pool safety certificate in effect for the pool; and I will give this form to the required parties in accordance with the *Building Act 1975*.

Name of Owner

Signature of Owner

Date / /

! FORM 36 IS NOT PROPERLY COMPLETED UNLESS ALL RELEVANT DETAILS ARE PROVIDED.
It is recommended the seller maintain a record of giving this form to the required parties.

i The owner or authorised person acting on behalf of the owner must submit completed form to:
Email - poolssafety@qbcc.qld.gov.au
Post - **GPO Box 5099, Brisbane, QLD. 4001**
In person - QBCC service centres are listed on our website qbcc.qld.gov.au.